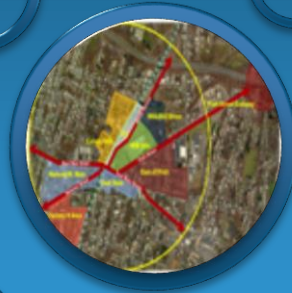


Status of Development Projects in Meriden's City Center

Information
Session to the
Meriden City
Council

October 7, 2013



Agenda

- 1) *Status of Harbor Brook Flood Control and HUB Project & Impacts to the 100-year floodplain*
- 2) *Updates on Meriden Transit Center and NHHS Rail Project*
- 3) *24-38-44 Colony Street Development Project*
- 4) *Future of Mills Memorial Housing Complex*
- 5) *HUD Sustainable Challenge Grant Status*
- 6) *Next Steps and Action Items*
- 7) *Summary of Economic Development Benefits*

1992 Flood Damage

11 major flooding incidents have occurred in Meriden since late 1800's

\$12 million in damage in 1992 and \$14 million in damage in 1994 led to development of Flood Control Implementation Agency

Harbor Brook Flood Control Plan designed to solve flood problems once and for all



Harbor Brook Flood Control Plan Permitted Projects



Floodwater
Detention-HUB
and Falcon Field



6 Bridge
Replacements &
2 Relief Culverts



Harbor Brook
Channel
Improvements



Property
Acquisition,
Demolition and
Flood Proofing

HUB Flood Detention & Park Project

Daylighted Harbor Brook

Pedestrian bridge with connection to rail area

Amphitheater

Linear
Trail
access



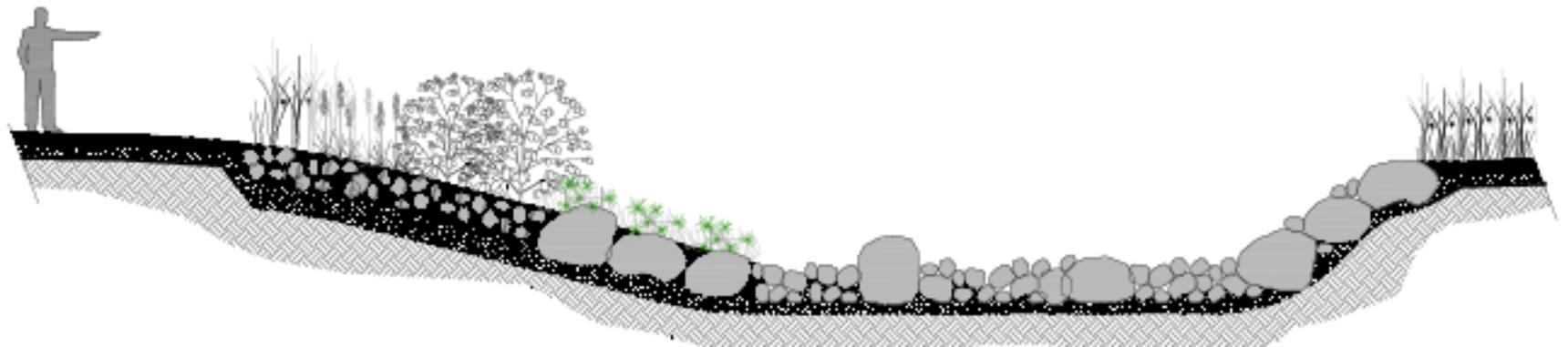
Great Lawn and walking trails

Future development areas

“Gateway” entrance

HUB Final Design Components (\$10m estimated)

- Removal of all existing curbs, slabs, foundations
- Mass Excavation
- Water handling, including daylight & reroute Harbor Brook
- Install storm drainage and utilities
- Landscaping including topsoil and turf on HUB site
- Landscaping within the stream channel
- Irrigation
- Disposal of controlled and hazardous materials



Bid Alternates (\$3m-\$6m estimated)

1. Site Improvements

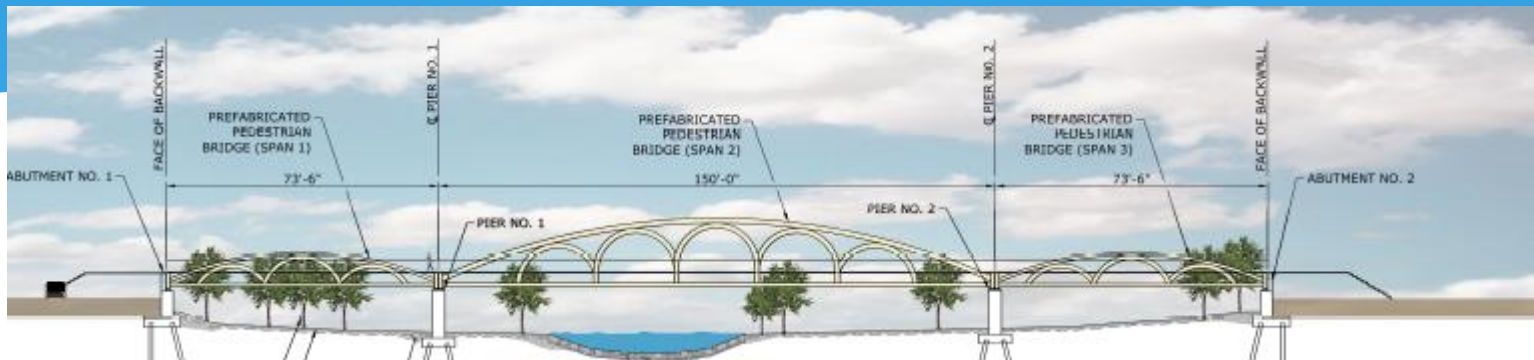
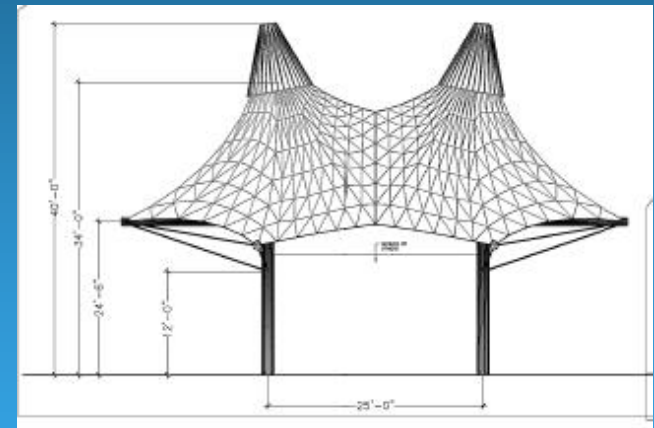
- Sidewalks, ramps, curbs, bollards, flagpole
- Structural components, footbridges
- Landscaping: 279 trees, 1407 shrubs
- Site Lighting

2. Pedestrian Bridge

- Prefab bridge, piers, approaches

3. Amphitheater

- Shade Structure
- Seating and stage area
- Lighting and Electrical



Implementation of Harbor Brook Flood Control Plan and HUB Project will:

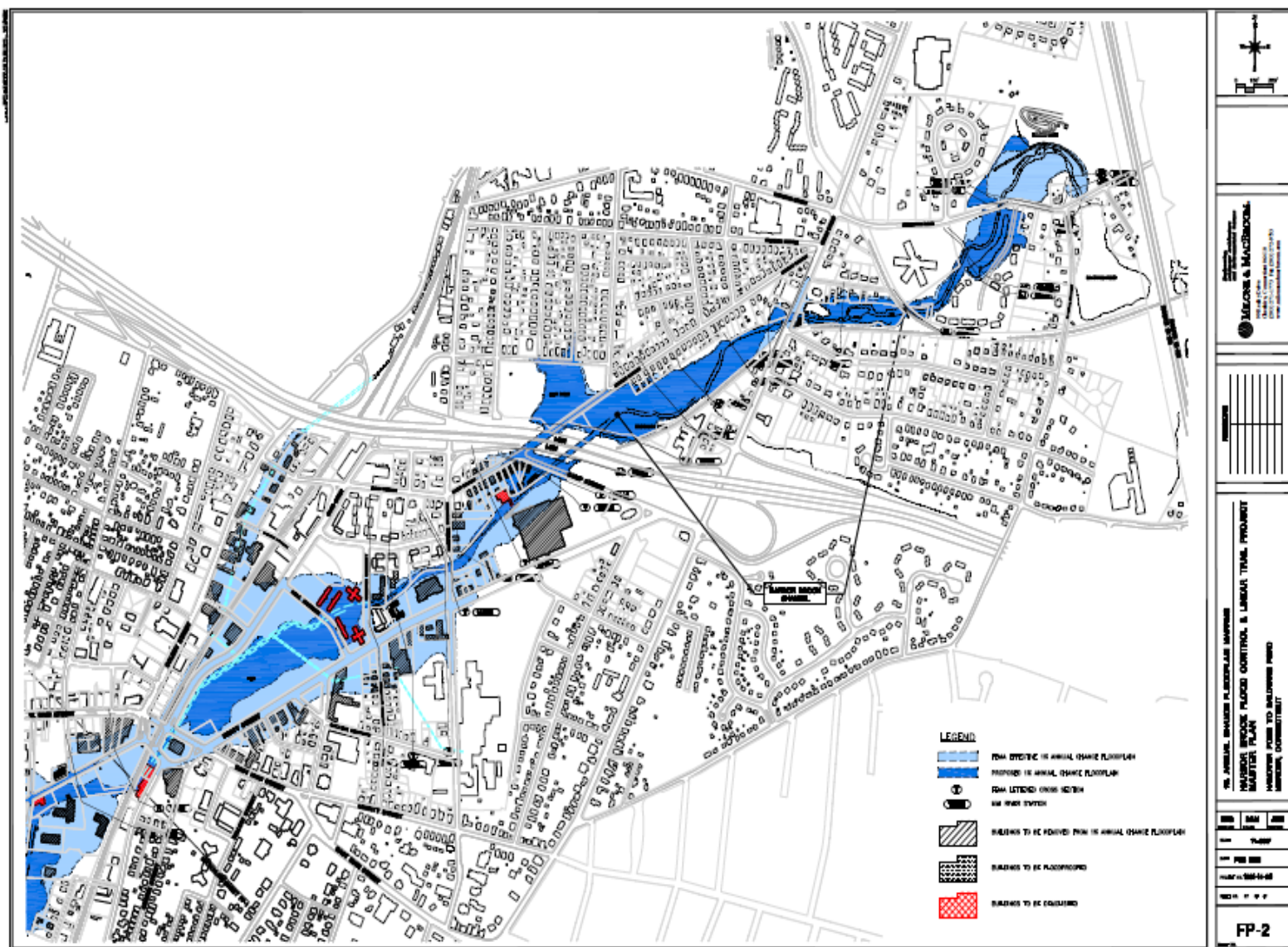
Reduce 100-year floodplain from 225 to 95 acres

Remove over 150 properties/structures from the 100-year floodplain

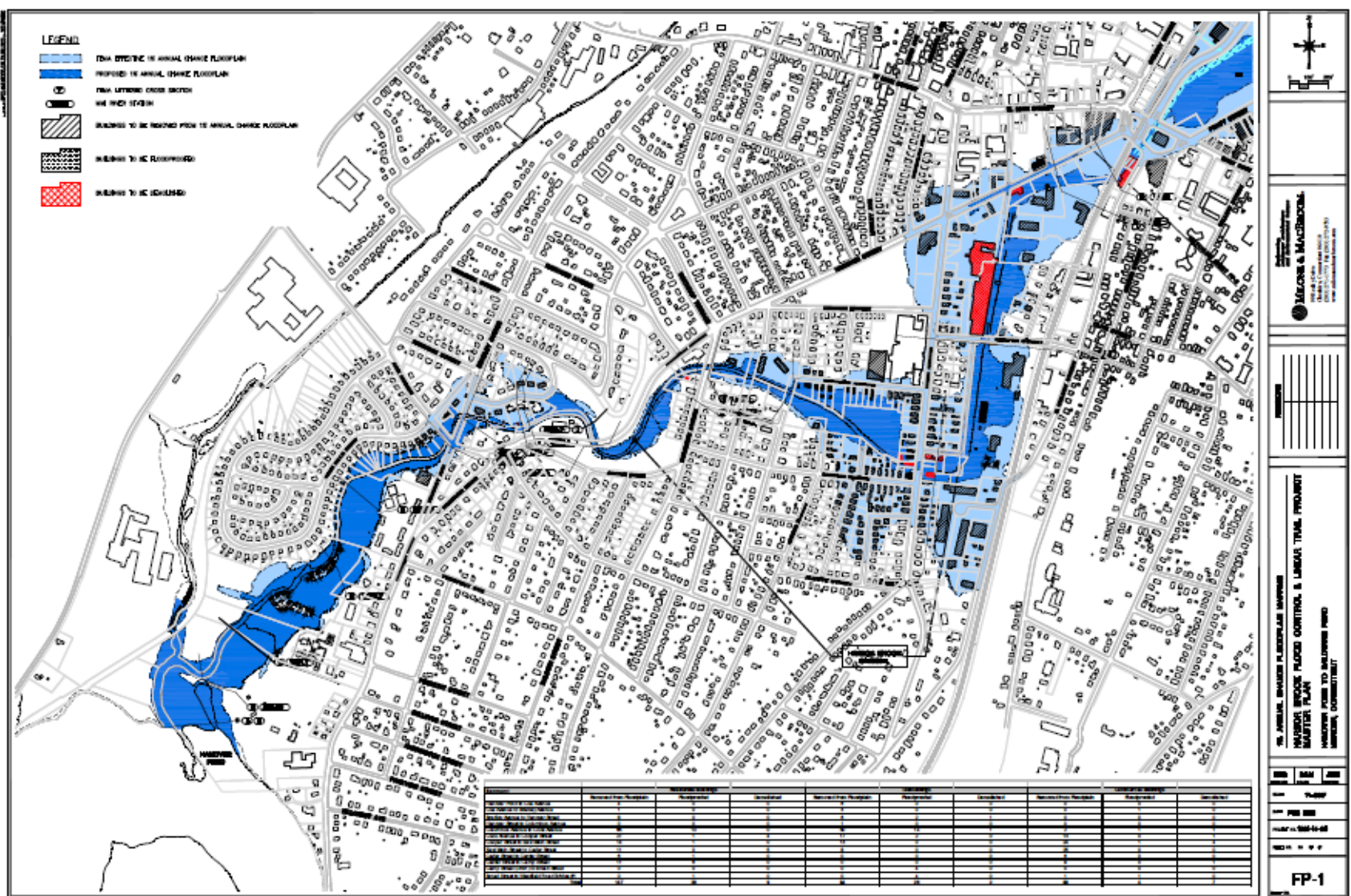
Significantly reduce risk of flooding in the City Center

Reduce need for property owners to purchase flood insurance

Harbor Brook Flood Control Impacts to 100-year floodplain (Map 1)



Harbor Brook Flood Control Impacts to 100-year floodplain (Map 2)



Meriden Transit Center

- Transit station in final design stage
- Station & platform construction to begin in 2014
- Commuter Rail service to Hartford and New Haven in 2016
- Property acquisitions underway
- 300 parking spaces
- New pedestrian links to Colony Street



24-38-44 Colony Street “Transit Oriented Development” Project

What is Transit Oriented Development?

Transit-oriented development (TOD) is compact, mixed-use development near transit facilities and high-quality walking environments.

TOD is about creating sustainable communities where people of all ages and incomes have transportation and housing choices, increasing location efficiency where people can walk, bike and take transit.

-US Department of Transportation, Federal Transit Administration

24-38-44 Colony Street

“Transit Oriented Development” Project

Project Goals:

Leverage resources from the public and private sectors to create mixed-use transit oriented development in proximity to the new Meriden Transit Center

Provide Commuter Parking for New Haven/Hartford Springfield Rail

Develop better affordable housing that allows for the replacement of Mills units

Foster commercial and retail opportunities on street level that blend with the historic built environment



24-38-44 Colony Street TOD Project

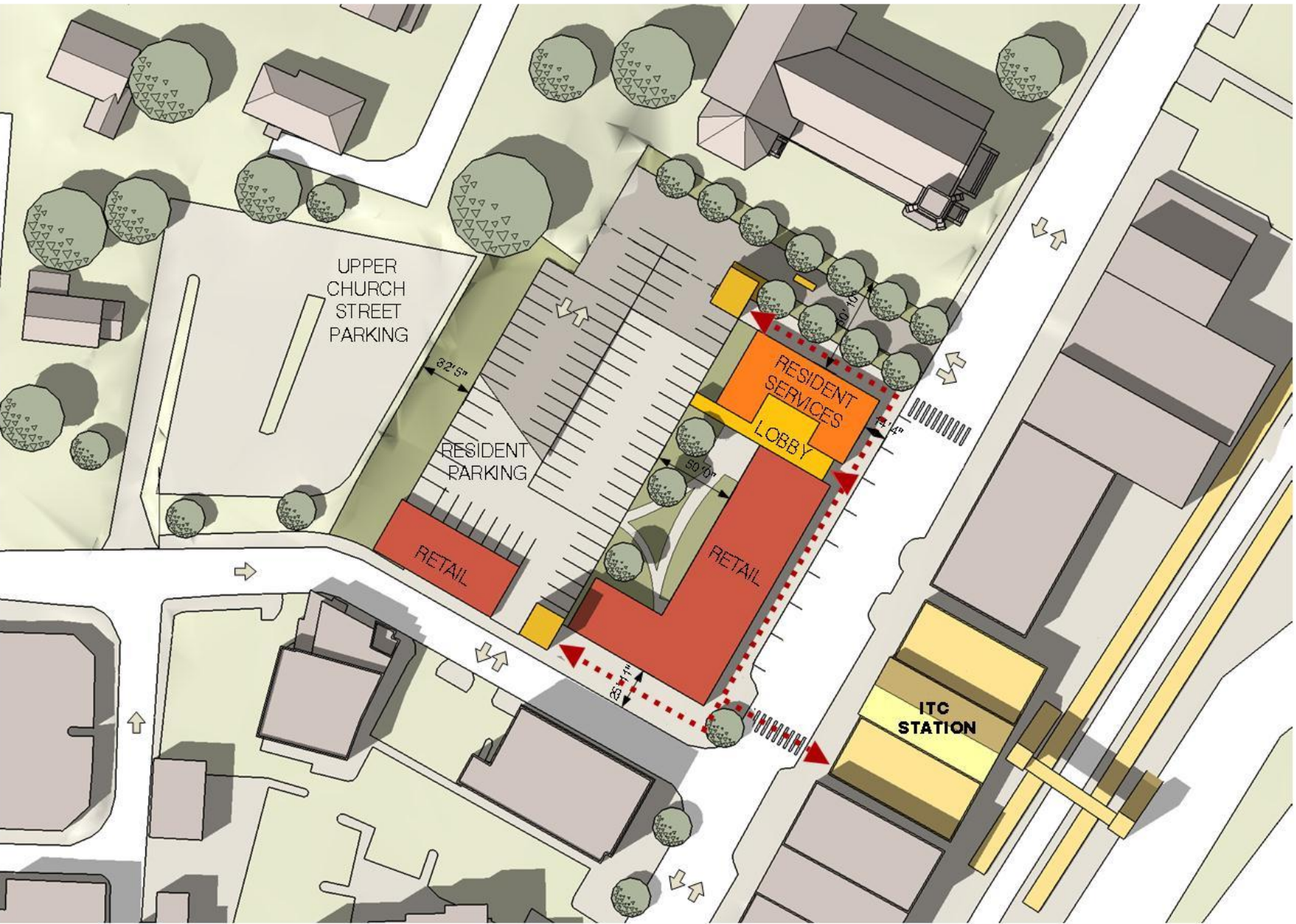


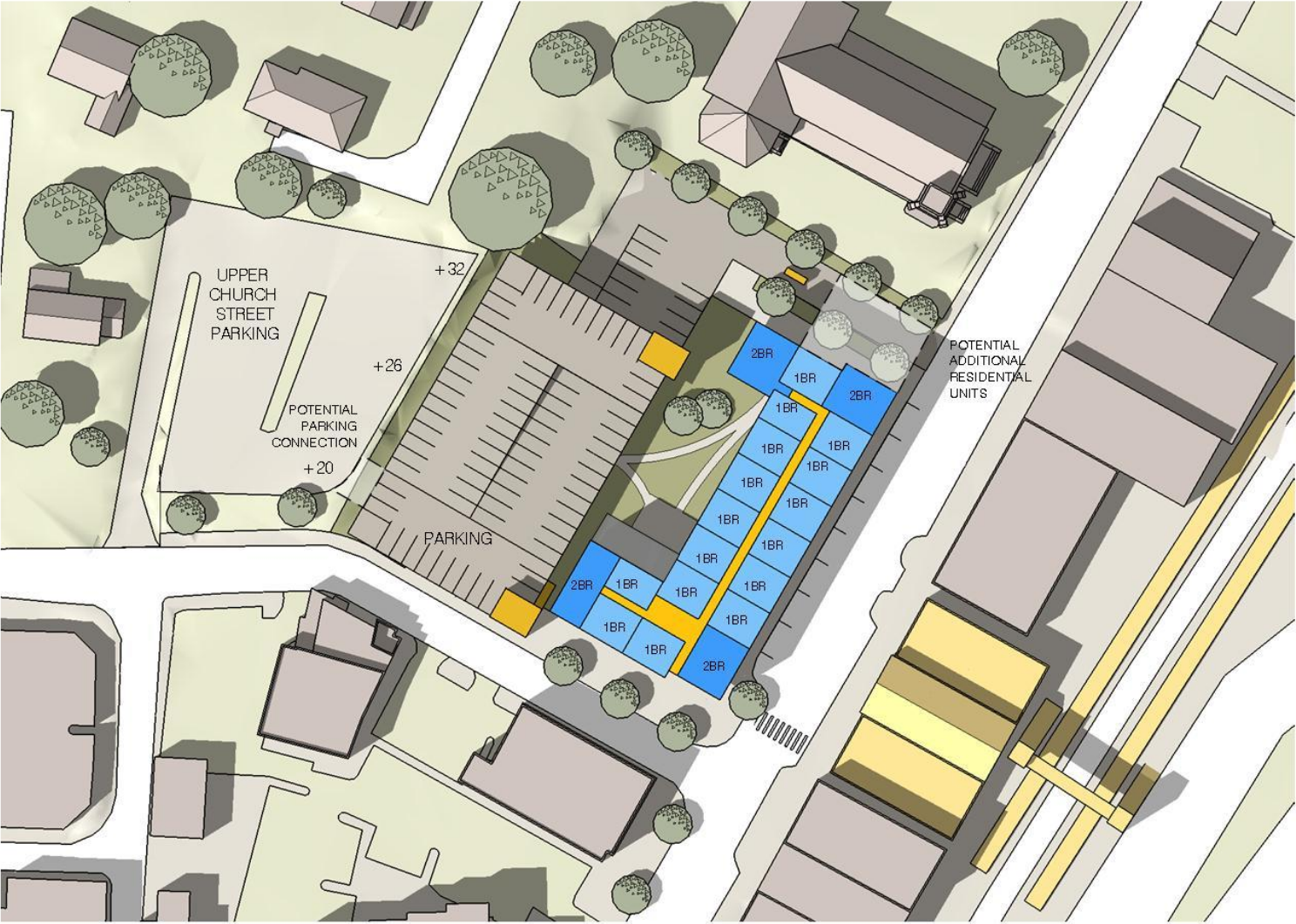
Rick Ross, Westmount Development Group

24-38-44 Colony Street Project Scope

Residential Units	
1 Bedroom	51
2 Bedroom	12
Total Units	63

Parking Spaces	
Residential Parking	48
DOT Parking	200
City Parking	25
Total Parking Spaces	273











24-38-44 Colony Street TOD Public/Private Partners

Connecticut Department of Transportation

- Acquired 24 Colony Street for commuter parking
- Provide over \$15m for Meriden Transit Center and Rail platforms
- Contract with Westmount to develop \$7m parking for NHHS Rail

Westmount Development

- Partner with ConnDOT to construct commuter parking
- Partner with MHA to provide new housing and commercial space
- Leverage \$22 million in public and private investment
- Utilize CHFA financing (9% Housing Tax Credits and 4% CHFA loan guarantees)
- Operate the development for 30+ years

24-38-44 Colony Street TOD Public/Private Partners

City of Meriden

- Contribution of 38-44 Colony Street for housing and commercial development and guaranteed parking (25 spaces)
- Event, evening and weekend parking to be discussed
- Zoning review and approval of development plan under TOD Zoning

•MHA

- Provide better affordable housing choices
- Project allows for “disposition” of 24 Mills housing units, i.e. units may be removed from federal public housing program and not re-rented
- Provides opportunity to plan for future redevelopment of Mills ‘mega block’ that includes MHA, City and private parcels

Future of Mills

- Goal to develop 400-500 mixed income units both on-and off-site
- 2013 Choice Neighborhoods Planning Grant & “Transformation Plan”
- Partnership with PennRose Properties, Philadelphia, PA
- Future phases:
 - Removal of remaining units from federal public housing program
 - Relocation
 - Demolition of structures in 100-year floodplain



2012 HUD Sustainable Communities Challenge Grant

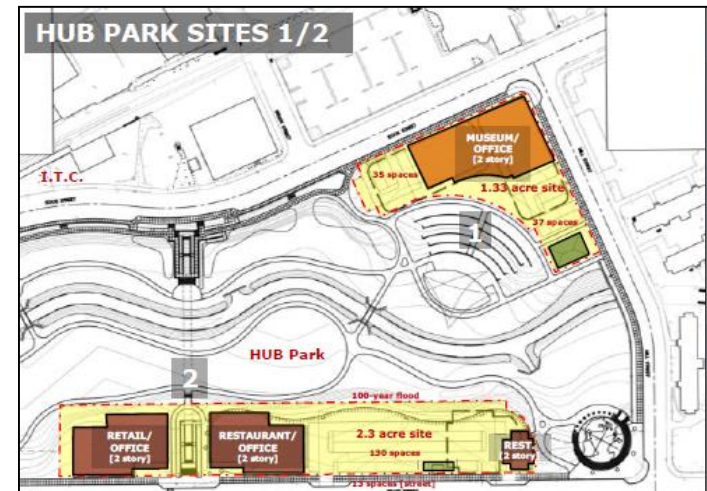
- * **TOD Zoning Regulations for Meriden TOD District** (\$216,722.85 HUD funds): Meriden will implement planning and zoning changes identified during the TOD Planning process. COMPLETED
- * **Land Acquisition in Meriden (\$730,000 HUD funds):** Meriden plans to acquire selected properties within the TOD District for redevelopment into private uses that are consistent with the TOD plan. The City will develop guidelines for land acquisition whereby land to be acquired will be required to be developed as affordable housing or supportive of affordable housing development on adjacent parcels. IN PROCESS (2014)
 - * 2 properties under consideration for acquisition
 - * Properties acquired may provide future opportunities for disposition of Mills units

Next Steps-TOD Area

- **October/Nov. 2013: HUB Park & Flood Control Construction**
- **October 2013: City approves property transfer agreement (38-44 Colony Street) to Westmount/MHA**
- **November 18, 2013: Westmount submits application to CHFA for 24 Colony Street project**
- **2014: Developer RFQ Released for Other City-owned properties**
- **April 2014-April 2016: ConnDOT Constructs Rail Station**
- **2014-2015: Westmount constructs 24 Colony Street Project**
- **2015: HUB Park Opening**
- **2016: Rail Station Opening**
- **2013-2018 Harbor Brook Flood Control Implementation**

Next Steps HUB Park

- Name the park
- Program Special Events
- Develop operation, maintenance and security plans
- Develop green space revenue generating plan
- Form of “Friends of the Park” or other entity
- Solicit development proposals for 3.4 acres of buildable area
- Plan, finance and construct additional site amenities



Economic Development Benefits

- \$9,879,793 grants awarded for HUB construction
- \$3.15m for HUB authorized (PA 7-07)
- Potential for 1.2 million square feet of development on HUB site (150,000 sq ft building footprint) in TOD Zone
- \$22m housing development-24 Colony Street
- \$25m Rail Station and Parking
- Economic Modeling completed by 4ward Planning shows within five years, potential for:
 - \$100m in new investment
 - 156 full time jobs created
 - Positive net tax impacts to City

For more information, please contact:

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Online Resources:

www.meridentod.com

www.meridenct.gov

www.meridenbiz.com

